

Staff
Summary
Report



To: Mayor and City Council
Through: City Manager

Agenda Item Number 51
Meeting Date: 05/06/99
Doc. Name: 990506devsrh11
Supporting Documents: Yes

SUBJECT: CENTERPOINT PLAZA #SPD-99.43

APPROVED BY: Randall Hurlburt, Development Services Director
Debra Fink, Senior Planner

BRIEF: This is the second public hearing for Centerpoint Plaza for a Final PAD for Z Tejas Grill at 20 W. 6th St.

COMMENTS: **PLANNED DEVELOPMENT (0406)** Hold the second public hearing for **CENTERPOINT PLAZA** (DMB Associates, property owners) for Z Tejas Grill (formerly known as the Ellingson Warehouse) consisting of 6,639 s.f. of building area and 920 s.f. of patio. This request will allow the reconstruction and expansion of the former Ellingson Warehouse and its conversion to a restaurant with outside dining. The applicant seeks the following approval from the City of Tempe:

- a. **(#SPD-99.43)** A Final PAD for Centerpoint Plaza (Phase VI) for Z Tejas Grill, consisting of 6,639 s.f. of building area (with 920 s.f. patio area) located at 20 W. 6th Street..

SUMMARY: The applicants request a Final Plan of Development for a portion of Centerpoint Plaza at 20 W. 6th Street, to allow the reconstruction of the Ellingson Warehouse building, which was destroyed by fire in the late 1980's. Built from the salvaged red-bricks of the warehouse, with some expansion to accommodate patio and entryways this project will complement the existing downtown redevelopment efforts. Building elevations, landscaping and site plan details have been approved by the Design Review Board at their March 17th meeting. No variances or use permits are required. Staff is recommending approval, and to date, no public input has been received.

Note: At the first Council public hearing on 4/15/99, there were no public comments.

	<u>Recommendation</u>	<u>Comments</u>
Staff	Approval	See report
Design Review Board	Approval	See attached letter
Public	None, to date	

HISTORY & FACTS:

- June 1985. The City Council selected University Plaza (now Centerpoint) from among 10 proposals for this downtown redevelopment project.
- April 30, 1987. The City Council approved for DMB Associates (Centerpoint) a zoning change from I-2, General Industrial, R-4 Multi-Family Residence General District and CCD Central Commercial District to CCD Central Commercial District, and a Preliminary P.A.D. with variances and use permits for University Plaza consisting of 1,200,000 s.f. (2,188,850 s.f. including parking garages) on 24.1 net acres a 600 S. Mill Avenue, subject to conditions.
- September 17, 1987 The City Council approved for DMB Associates a Final P.A.D. and Site Plan with variances for Centerpoint, Phase I, consisting of 104,441 s.f. on 11.3 net acres, subject to conditions.
- December 13, 1990. The City Council approved for Centerpoint Plaza Limited Partnership a Final PAD for Centerpoint Plaza, Phase II (Chase Manhattan Bank) consisting of 416,162 s.f. on 13.34 net acres subject to conditions.
- January 10, 1991. The City Council approved for Centerpoint Plaza Limited Partnership an Amended Preliminary P.A.D. consisting of 1,200,000 s.f. (2,414,340 s.f. including parking garages) on 22.6 net acres total and a Final P.A.D. for Phase II (Chase Manhattan Bank) consisting of 411,800 s.f. on 9.60 net acres, subject to conditions.
- June 27, 1991. The City Council approved for Centerpoint Plaza Limited Partnership an Amended Preliminary P.A.D. consisting of 1,200,000 s.f. (2,281,495 s.f. including parking garages) on 22.6 net acres total and a Final P.A.D. for Centerpoint Plaza, Phase II (Chase Manhattan Bank) consisting of 324,663 s.f. (1,063,663 s.f. including parking garages) on 6.75 net acres, with variances & use permits, subject to conditions.
- May 21, 1992. The City Council approved for Centerpoint Plaza Limited Partnership an Amended Preliminary P.A.D. for Centerpoint Plaza consisting of 1,194,743 s.f. (2,374,086 s.f. including parking garages) on 22.58 net acres and a Final P.A.D. for Centerpoint Plaza Phase III (retail, theater and restaurant) consisting of 60,870 s.f. (including a use permit to allow parking to be provided based on demand) all subject to conditions.
- September 24, 1992. The City Council approved for Centerpoint Plaza Limited Partnership a site plan, use permit and variance to allow a 9,158 s.f. building expansion of a previously approved 48,000 s.f. theatre/retail /restaurant bldg. - in Bldg. H, subject to conditions.

- March 21, 1996. The City Council approved for Centerpoint Plaza Limited Partnership and DMB Associates, an Amended Preliminary P.A.D. consisting of 2,235,856 s.f. on 22.04 net acres and a Final P.A.D. for Phase IV- Courtyard by Marriott, including a use permit and 3 variances for a 160 -room hotel to be located at 111 West 5th Street, subject to conditions of approval.
- April 3, 1996. The Design Review Board approved the building elevations, site and landscaping plan for Centerpoint's Building "D", subject to 15 conditions.
- May 9, 1996. The City Council approved for Centerpoint Plaza Limited Partnership and DMB Associates, an Amended Preliminary P.A.D. consisting of 2,217,854 s.f. (including parking garages) on 22.04 net acres, and a Final P.A.D. for Phase V- Centerpoint Retail Bldg. "D" consisting of 51,287 s.f. on 2.21 net acres located at 740 South Mill Avenue.
- March 17, 1999. The Design Review Board approved the building elevations, site and landscaping plan, subject to conditions.

DESCRIPTION: Owner – UHB Plaza & DMB Consolidated Holdings, Michael DeBell

Applicant - Same

Architect – Architects Design Studio, Mark Irby

Zoning - CCD

Site area (Z-Tejas site) - .92 net acres

Total bldg. area – 6,639 s.f.

Proposed outdoor patio area- 920 s.f.

Lot coverage – 16%

Parking required (by ordinance) for OVERALL Centerpoint project:

Existing Phase I

Restaurant

Indoor, no entertainment	9,000 s.f.	=	120 spaces
Outdoor dining	1,000 s.f.	=	7 spaces
Retail	10,444 s.f.	=	42 spaces
General Office	80,666 s.f.	=	<u>323 spaces</u>
	(Phase I)		492 spaces

Existing Phase II

General Office

Bldg. F -	184,932 s.f.	=	740 spaces
Bldg. G -	124,629 s.f.	=	<u>498 spaces</u>
	(Phase II)		1238 spaces

Existing Phase III

Restaurant	8,900 s.f.	=	119 spaces
Retail	12,870 s.f.	=	51 spaces
Theatre	45,350 s.f.	=	<u>455 spaces</u>
	(Phase III)		625 spaces

Proposed Phase IV

160 room hotel	=	188 spaces
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<u>Proposed Phase V</u>			
Bldg. D. retail	35,479 s.f.	=	142 spaces
office	8,573 s.f.	=	34 spaces
restaurant	7,234 s.f.	=	<u>96 spaces</u>
	(Phase V)	=	272 spaces
<u>Proposed Phase VI – (Z-Tejas site)</u>			
6,639 s.f. building area @ 1/75 =		88 spaces	
920 s.f. patio area @ 1/150 =		<u>6 spaces</u>	
	TOTAL =	94 spaces	
TOTAL required by ordinance		2013 spaces	
<u>Demand Predicted By Shared Parking Model</u>			
Phases I, II, III, IV & V =		951 spaces	
Parking Provided By Centerpoint Parking Association – 1180 spaces			
Surplus parking – 229 spaces			

COMMENTS: DMB Associates, Inc. are requesting a Final PAD for Z-Tejas Grill located within the Centerpoint development. More specifically, the site is located at the northeast corner of Maple Avenue and 6th Street, one block west of Mill. The Ellingson Warehouse, originally built in 1909, was destroyed by fire in the late 1980's and was located at the northeast corner of 7th Street and Maple, one block west of the proposed location.

The proposed Z-Tejas Grill, is a family oriented, upscale restaurant. The proposed one-story restaurant consists of 6,639 s.f. of building area with a 920 s.f. covered patio along 6th Street. It's location near the street edge, continues the outdoor dining theme which has been established at various other locations in the downtown. The layout for the site has the building placed at the street front and the parking located in the rear. A total of 32 parking spaces will be incorporated into the site with additional parking available to patrons in the neighboring Centerpoint parking garages and surfaces lots.

As designed, the exterior walls will be a blend of new and salvaged red bricks. The elevations will feature exposed heavy timber supports and a stuccoed wainscot similar to the original structure. The roof will be a galvanized corrugated metal. Other period style accents adorn the building, such as lighting fixtures, wood paneled doors and a raised roof vent.

Landscaping is to City standards and will provide adequate shade to pedestrians along the streets and within the internal parking areas. The sidewalks adjacent to this site will be paved with red brick to blend with the existing sidewalk treatment.

Staff believes the proposed Final PAD is in conformance with the most recent Preliminary PAD for Centerpoint and is therefore recommending approval of the project. The plan maintains the concept initially approved by the Council, reflects an acceptable level of quality and creates no new variances or use permits. By reconstructing the site and using bricks salvaged from the original warehouse building, staff believes that the project will compliment the existing downtown redevelopment efforts. The site and landscaping plan, as well as the building elevations and materials, were approved by the Design Review Board at their March 17th meeting. Parking for the project, as predicted by the parking model continues to reflect a surplus.

RECOMMENDATION: Staff – Approval, subject to conditions.
Design Review Board – Approval, subject to conditions.

**REASON(S) FOR
APPROVAL:**

1. The Final PAD for this site conforms significantly to the overall Preliminary PAD for Centerpoint Plaza.
2. The site plan appears to be of acceptable quality and design and should compliment the existing downtown area development.

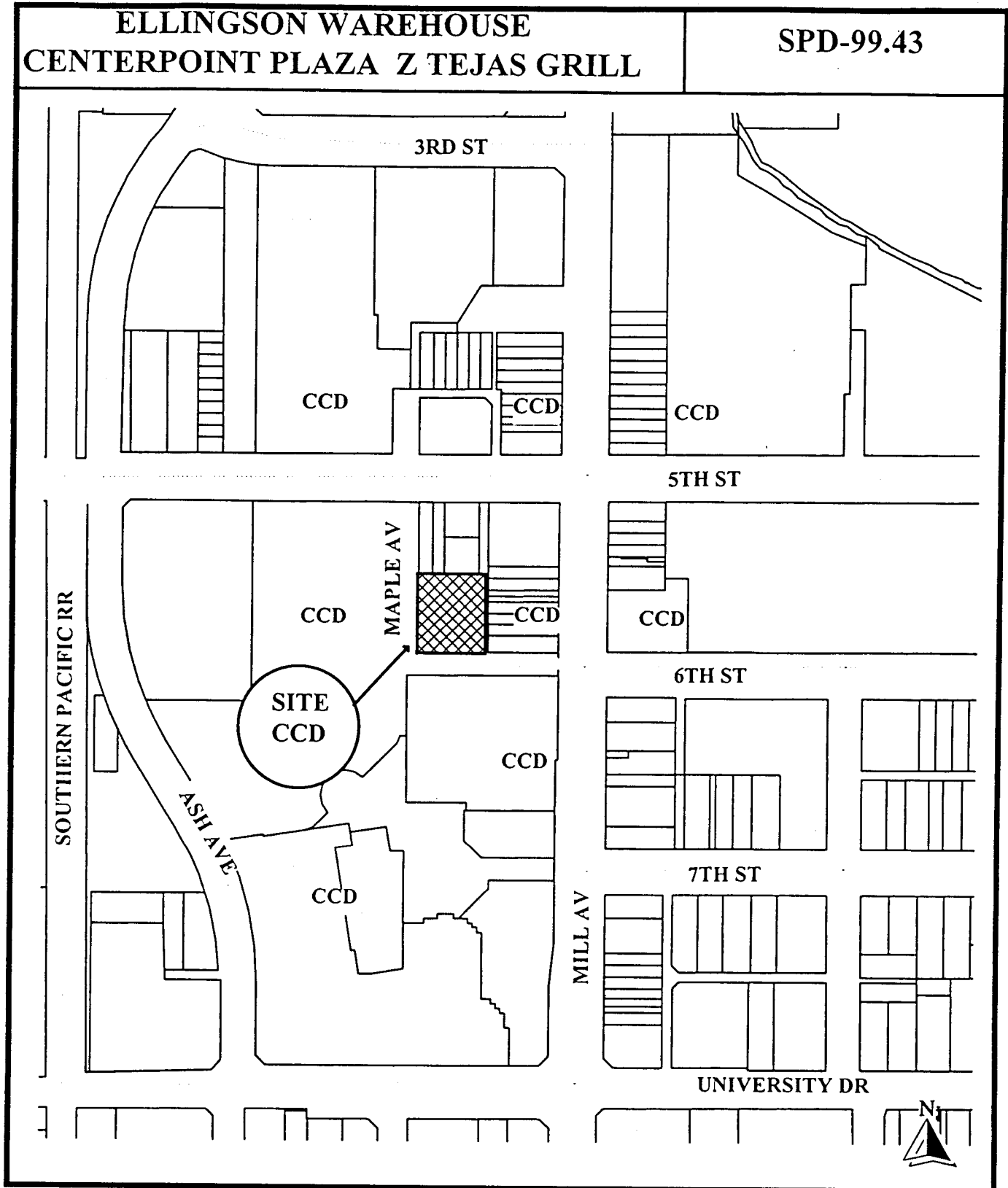
**CONDITION(S)
OF APPROVAL:**

1. No variances may be created by future property lines without the prior approval of the City of Tempe.
2. Any intensification or expansion of the use shall require the applicant to return to the City Council for further review.
3. The site plan shall be engineered and put into proper Final PAD format. It should then be recorded with the Maricopa County Recorder prior to the issuance of any construction permits for this project.
4. The applicant shall resolve all lighting and security details with the Police Department prior to the issuance of a building permit.
5. All Design Review Board conditions of 3/17/99 shall be adhered to.
6. All previous applicable Council conditions of approval shall be adhered to.
7. An Amended Subdivision Plat for Centerpoint shall be submitted and processed with the project's next Phase VII of development.

- ATTACHMENTS:**
1. Location Map
 2. Final PAD/Phase IV Site Plan – Z-Tejas Grill
 3. Elevations
 4. Floor Plan
 5. Conceptual Landscape Plan
 6. Centerpoint Shared Parking Model Study
 7. Letter of Explanation/Intent
 8. Design Review Board Approval Letter – 3/17/99
 9. Previously Approved 4th Amended Preliminary P.A.D.(Phase IV)

**ELLINGSON WAREHOUSE
CENTERPOINT PLAZA Z TEJAS GRILL**

SPD-99.43



Location Map SEE OTHER SIDE FOR MORE INFORMATION

ALL INFORMATION ON LOT 1 OF CERTIFICATE A SPECIFICALLY AS RECORDED IN BOOK 46 OF PLAT BOOKS RECORDED IN GAVAZZONI COUNTY, ARIZONA NUMBER DESCRIBED AS FOLLOWS:

1. THE ABOVE MAIL SHALL BE CARRIED BY REGISTERED MAIL ABOUT THE PRESENT ADDRESS OF THE CITY OF NEW YORK.
2. ANY INFORMATION OR EXPANSION OF THE MAIL SHALL BE RETURNED TO THE CITY OF NEW YORK BY THE
3. THE MAIL SHALL BE REGISTERED, AND THE MAIL SHALL BE RETURNED TO THE CITY OF NEW YORK BY THE
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APPROVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF TEMPE, ARIZONA

DATE: _____ DAY OF: _____ 1995 BY: _____ MAYOR _____ CITY CLERK _____

APPROVED BY THE CITY ENGINEER OF THE CITY OF TEMPE, ARIZONA

DATE: _____ DAY OF: _____ 1995 _____

APPROVED BY THE COUNTY CLERK/ALTERNATE CLERK OF THE CITY OF TEMPE, ARIZONA

DATE: _____ DAY OF: _____ 1995 _____

STATEMENT OF COMPANY:

THIS IS TO CERTIFY THAT THE FOLLOWING HAS BEEN RECEIVED FROM AN INDIVIDUAL ASSOCIATED WITH THE COMPANY:

DEE KLOFFER AS SPOUSE
OF
CONVENT PLAZA LIMITED PARTNERSHIP
AN ARIZONA LIMITED PARTNERSHIP

D1: URSID INC. AN ARIZONA CORPORATION
110 CLEVELAND PARKWAY
CHANDLER, ARIZONA 85226

[illegible]

Ellingson Warehouse

Architects  Design Studio

Res,toration

12 JAN 2019
 PLANNING AND ZONING SUBMITTAL - CITY OF TEMPE
 0000 0001 City of Tempe Case # 2017-00-03
 AEC Job Number
 SCALE 1" = 100'-0"
 10'

[illegible]

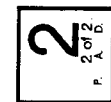
Centerpoint Development

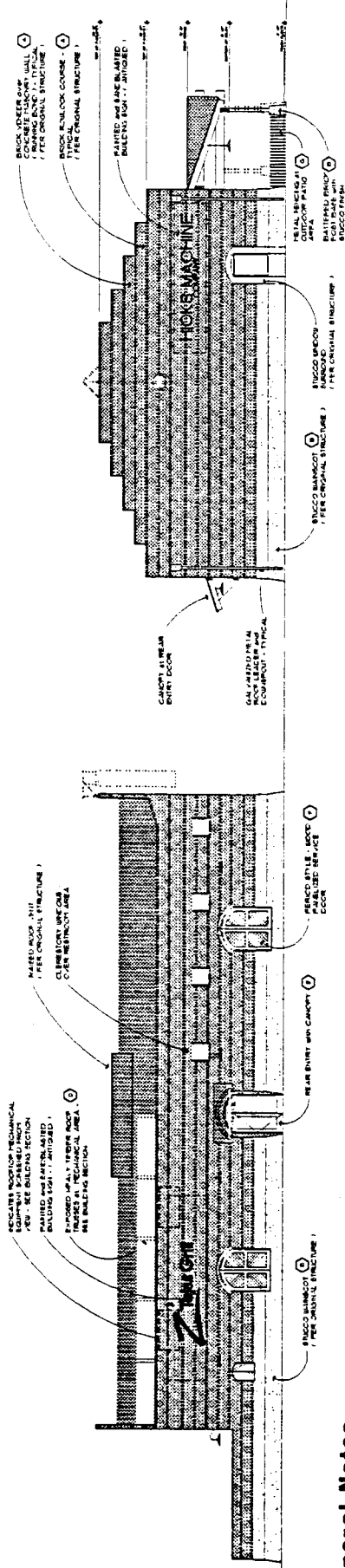
It is important to note that the results of this study are based on a cross-sectional design. Therefore, the causal relationship between the variables cannot be definitively established. Future research should consider longitudinal studies to explore the temporal dynamics of these relationships.

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OWNER	DEVELOPER	ARCHITECT	PROJECT ADDRESS	CONSTRUCTION CODE (CITY OF NEW YORK)	ZONING	LOT AREA SQUARE FEET	BLDG. AREA SQUARE FEET	BLDG. AREA SQUARE FEET	LANDSCAPE OR OTHER	BLDG. HEIGHT FEET	CONSTRUCTION TYPE	OCCUPANT GROUP	OCCUPANT LOAD	NO. OCCUPANTS	VEHICLES SPACES	VEHICLES SPACES	VEHICLES SPACES	VEHICLES SPACES
CLM Associates, Commercial Plans Limited Partnership 4127 Broadway, New York, NY 10018 Phone: (212) 692-1211 Fax: (212) 692-1211	CLM and Beyond Realty Services, Inc. 4127 Broadway, New York, NY 10018 Phone: (212) 692-1211 Fax: (212) 692-1211	ARCHITECT INDEPENDENT 100 EAST 41ST ST NEW YORK, NY 10017 Phone: (212) 692-1211 Fax: (212) 692-1211	4127 BROADWAY, NEW YORK, NY 10018 FLOOR 10 FLOOR 11 FLOOR 12 FLOOR 13 FLOOR 14 FLOOR 15 FLOOR 16 FLOOR 17 FLOOR 18 FLOOR 19 FLOOR 20 FLOOR 21 FLOOR 22 FLOOR 23 FLOOR 24 FLOOR 25 FLOOR 26 FLOOR 27 FLOOR 28 FLOOR 29 FLOOR 30 FLOOR 31 FLOOR 32 FLOOR 33 FLOOR 34 FLOOR 35 FLOOR 36 FLOOR 37 FLOOR 38 FLOOR 39 FLOOR 40 FLOOR 41 FLOOR 42 FLOOR 43 FLOOR 44 FLOOR 45 FLOOR 46 FLOOR 47 FLOOR 48 FLOOR 49 FLOOR 50 FLOOR 51 FLOOR 52 FLOOR 53 FLOOR 54 FLOOR 55 FLOOR 56 FLOOR 57 FLOOR 58 FLOOR 59 FLOOR 60 FLOOR 61 FLOOR 62 FLOOR 63 FLOOR 64 FLOOR 65 FLOOR 66 FLOOR 67 FLOOR 68 FLOOR 69 FLOOR 70 FLOOR 71 FLOOR 72 FLOOR 73 FLOOR 74 FLOOR 75 FLOOR 76 FLOOR 77 FLOOR 78 FLOOR 79 FLOOR 80 FLOOR 81 FLOOR 82 FLOOR 83 FLOOR 84 FLOOR 85 FLOOR 86 FLOOR 87 FLOOR 88 FLOOR 89 FLOOR 90 FLOOR 91 FLOOR 92 FLOOR 93 FLOOR 94 FLOOR 95 FLOOR 96 FLOOR 97 FLOOR 98 FLOOR 99 FLOOR 100 FLOOR 101 FLOOR 102 FLOOR 103 FLOOR 104 FLOOR 105 FLOOR 106 FLOOR 107 FLOOR 108 FLOOR 109 FLOOR 110 FLOOR 111 FLOOR 112 FLOOR 113 FLOOR 114 FLOOR 115 FLOOR 116 FLOOR 117 FLOOR 118 FLOOR 119 FLOOR 120 FLOOR 121 FLOOR 122 FLOOR 123 FLOOR 124 FLOOR 125 FLOOR 126 FLOOR 127 FLOOR 128 FLOOR 129 FLOOR 130 FLOOR 131 FLOOR 132 FLOOR 133 FLOOR 134 FLOOR 135 FLOOR 136 FLOOR 137 FLOOR 138 FLOOR 139 FLOOR 140 FLOOR 141 FLOOR 142 FLOOR 143 FLOOR 144 FLOOR 145 FLOOR 146 FLOOR 147 FLOOR 148 FLOOR 149 FLOOR 150 FLOOR 151 FLOOR 152 FLOOR 153 FLOOR 154 FLOOR 155 FLOOR 156 FLOOR 157 FLOOR 158 FLOOR 159 FLOOR 160 FLOOR 161 FLOOR 162 FLOOR 163 FLOOR 164 FLOOR 165 FLOOR 166 FLOOR 167 FLOOR 168 FLOOR 169 FLOOR 170 FLOOR 171 FLOOR 172 FLOOR 173 FLOOR 174 FLOOR 175 FLOOR 176 FLOOR 177 FLOOR 178 FLOOR 179 FLOOR 180 FLOOR 181 FLOOR 182 FLOOR 183 FLOOR 184 FLOOR 185 FLOOR 186 FLOOR 187 FLOOR 188 FLOOR 189 FLOOR 190 FLOOR 191 FLOOR 192 FLOOR 193 FLOOR 194 FLOOR 195 FLOOR 196 FLOOR 197 FLOOR 198 FLOOR 199 FLOOR 200 FLOOR 201 FLOOR 202 FLOOR 203 FLOOR 204 FLOOR 205 FLOOR 206 FLOOR 207 FLOOR 208 FLOOR 209 FLOOR 210 FLOOR 211 FLOOR 212 FLOOR 213 FLOOR 214 FLOOR 215 FLOOR 216 FLOOR 217 FLOOR 218 FLOOR 219 FLOOR 220 FLOOR 221 FLOOR 222 FLOOR 223 FLOOR 224 FLOOR 225 FLOOR 226 FLOOR 227 FLOOR 228 FLOOR 229 FLOOR 230 FLOOR 231 FLOOR 232 FLOOR 233 FLOOR 234 FLOOR 235 FLOOR 236 FLOOR 237 FLOOR 238 FLOOR 239 FLOOR 240 FLOOR 241 FLOOR 242 FLOOR 243 FLOOR 244 FLOOR 245 FLOOR 246 FLOOR 247 FLOOR 248 FLOOR 249 FLOOR 250 FLOOR 251 FLOOR 252 FLOOR 253 FLOOR 254 FLOOR 255 FLOOR 256 FLOOR 257 FLOOR 258 FLOOR 259 FLOOR 260 FLOOR 261 FLOOR 262 FLOOR 263 FLOOR 264 FLOOR 265 FLOOR 266 FLOOR 267 FLOOR 268 FLOOR 269 FLOOR 270 FLOOR 271 FLOOR 272 FLOOR 273 FLOOR 274 FLOOR 275 FLOOR 276 FLOOR 277 FLOOR 278 FLOOR 279 FLOOR 280 FLOOR 281 FLOOR 282 FLOOR 283 FLOOR 284 FLOOR 285 FLOOR 286 FLOOR 287 FLOOR 288 FLOOR 289 FLOOR 290 FLOOR 291 FLOOR 292 FLOOR 293 FLOOR 294 FLOOR 295 FLOOR 296 FLOOR 297 FLOOR 298 FLOOR 299 FLOOR 300 FLOOR 301 FLOOR 302 FLOOR 303 FLOOR 304 FLOOR 305 FLOOR 306 FLOOR 307 FLOOR 308 FLOOR 309 FLOOR 310 FLOOR 311 FLOOR 312 FLOOR 313 FLOOR 314 FLOOR 315 FLOOR 316 FLOOR 317 FLOOR 318 FLOOR 319 FLOOR 320 FLOOR 321 FLOOR 322 FLOOR 323 FLOOR 324 FLOOR 325 FLOOR 326 FLOOR 327 FLOOR 328 FLOOR 329 FLOOR 330 FLOOR 331 FLOOR 332 FLOOR 333 FLOOR 334 FLOOR 335 FLOOR 336 FLOOR 337 FLOOR 338 FLOOR 339 FLOOR 340 FLOOR 341 FLOOR 342 FLOOR 343 FLOOR 344 FLOOR 345 FLOOR 346 FLOOR 347 FLOOR 348 FLOOR 349 FLOOR 350 FLOOR 351 FLOOR 352 FLOOR 353 FLOOR 354 FLOOR 355 FLOOR 356 FLOOR 357 FLOOR 358 FLOOR 359 FLOOR 360 FLOOR 361 FLOOR 362 FLOOR 363 FLOOR 364 FLOOR 365 FLOOR 366 FLOOR 367 FLOOR 368 FLOOR 369 FLOOR 370 FLOOR 371 FLOOR 372 FLOOR 373 FLOOR 374 FLOOR 375 FLOOR 376 FLOOR 377 FLOOR 378 FLOOR 379 FLOOR 380 FLOOR 381 FLOOR 382 FLOOR 383 FLOOR 384 FLOOR 385 FLOOR 386 FLOOR 387 FLOOR 388 FLOOR 389 FLOOR 390 FLOOR 391 FLOOR 392 FLOOR 393 FLOOR 394 FLOOR 395 FLOOR 396 FLOOR 397 FLOOR 398 FLOOR 399 FLOOR 400 FLOOR 401 FLOOR 402 FLOOR 403 FLOOR 404 FLOOR 405 FLOOR 406 FLOOR 407 FLOOR 408 FLOOR 409 FLOOR 410 FLOOR 411 FLOOR 412 FLOOR 413 FLOOR 414 FLOOR 415 FLOOR 416 FLOOR 417 FLOOR 418 FLOOR 419 FLOOR 420 FLOOR 421 FLOOR 422 FLOOR 423 FLOOR 424 FLOOR 425 FLOOR 426 FLOOR 427 FLOOR 428 FLOOR 429 FLOOR 430 FLOOR 431 FLOOR 432 FLOOR 433 FLOOR 434 FLOOR 435 FLOOR 436 FLOOR 437 FLOOR 438 FLOOR 439 FLOOR 440 FLOOR 441 FLOOR 442 FLOOR 443 FLOOR 444 FLOOR 445 FLOOR 446 FLOOR 447 FLOOR 448 FLOOR 449 FLOOR 450 FLOOR 451 FLOOR 452 FLOOR 453 FLOOR 454 FLOOR 455 FLOOR 456 FLOOR 457 FLOOR 458 FLOOR 459 FLOOR 460 FLOOR 461 FLOOR 462 FLOOR 463 FLOOR 464 FLOOR 465 FLOOR 466 FLOOR 467 FLOOR 468 FLOOR 469 FLOOR 470 FLOOR 471 FLOOR 472 FLOOR 473 FLOOR 474 FLOOR 475 															

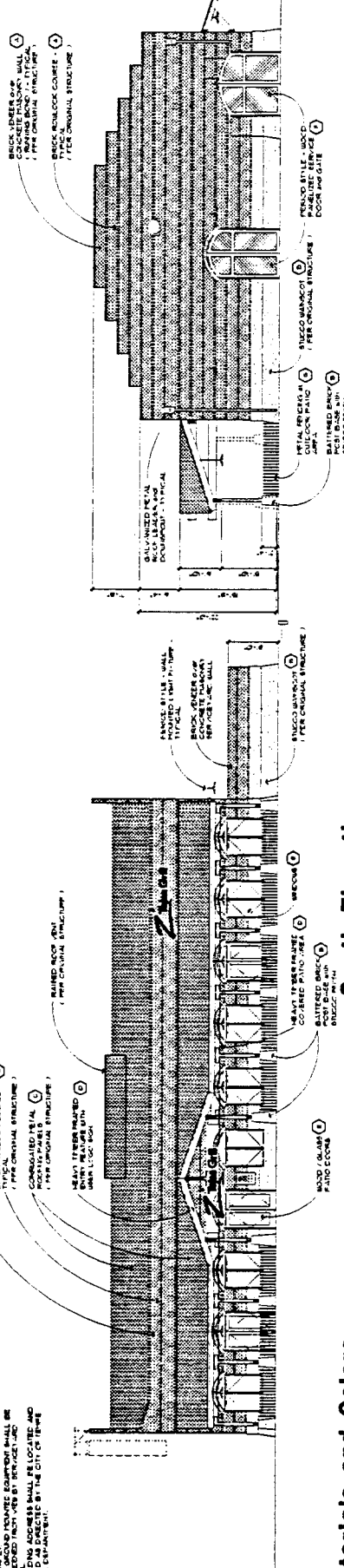
Ellingson Warehouse Restoration





- A. ALL EXTERIOR BUILDING MATERIAL SHALL BE ON AGGREGATE PAVEMENT.
- B. ALL REQUIRED MOUNTED EQUIPMENT SHALL BE SCREENED FROM VIEW BY THE BUILDING'S PARAPET.
- C. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM VIEW BY SERVICE/ACCESS WALL.
- D. BUILDING ADDRESS SHALL BE LOCATED AND SIZED AS DIRECTED BY THE CITY OF TEMPE FIRE DEPARTMENT.

West Elevation



- A BRICK, NATURAL RED CLAY, REUSE FINISHING WITH NEW MATCH
- B STUCCO MASONRY: EVAN, EDWARDS & BROSSEAU WASTE NEW
- C METAL ROOFING, GALVANIZED CORRUGATED METAL - NATURAL COLOR
- D EXPOSED HEAVY TIMBER, CLEAR SEALER - NATURAL COLOR

South Elevation

East Elevation

Proposed Conceptual Exterior Elevations

Centerpoint Development

Ellingson Warehouse Restoration

Architects
Design StudioArchitects Design Studio
I n c o r p o r a t e d

401 south mill avenue - suite 203 - tempe, arizona (602) 894-8380

Schematic
NOT FOR CONSTRUCTION

25 MAR 2018
DESIGN REVIEW SUBMITTAL
PROJECT / CASE # 8074 00 02

Tejas Grill



CITY OF TEMPE
A.G. Job Number 9630

3
Design Review

Ellingson Warehouse Z-Tejas Grill

Letter of Intent

This is a request by DMB Associates, Inc. for Final PAD approval of the Ellingson Warehouse/Z-Tejas Grill located within the Centerpoint development at the northwest corner of Mill Avenue and University Drive. More specifically, the site is located on the northeast corner of Maple Avenue and 6th Street. This proposed Final PAD is in conformance with the most recent Preliminary PAD for Centerpoint which was recorded in the official records of the Maricopa County Recorder as Document No. 97-0072617.

The Ellingson Warehouse, originally built in 1909, was gutted by flames in the late 1980's. Brick from the original building was saved after the fire and will be incorporated into the construction of the proposed building in order to help fulfill the developer's and City's desire to acknowledge the original structure and further the efforts of downtown Tempe's revitalization.

The proposed use is Z-Tejas Grill, a family oriented, upscale restaurant. The site area is 40,426 s.f. and the proposed one-story building area is 6,639 s.f. with a building coverage of 16%. A total of 31 parking spaces will be incorporated into the site with additional parking available to patrons in the neighboring Centerpoint parking garages and surface lots.

Landscaping will be to City standards and will provide adequate shade to pedestrians along the streets and within the internal parking areas. Covered patio areas located along 6th Street will also provide additional shade to restaurant patrons. The sidewalks along 6th Street and Maple Drive will be paved with red brick to blend with the existing sidewalk treatments in Downtown Tempe.

This project will be a positive addition to both Centerpoint and Downtown Tempe.

TEMPE STANDARD SHARED PARKING MODEL
 PROJECT = CENTERPOINT PARKING ASSOC.
 ADDRESS = SOUTH MILL
 DATE = April 7, 1999
 STAFF = DF

Filename = "STAND CNTRPASS
 WITHOUT CHASE

HAVE THE PERCENTAGES IN TABLE I BEEN MODIFIED? (Y/N): IFIED? (Y/ Y/N: NO

IF SO, DESCRIBE ASSUMPTIONS BELOW =

NIGHTCLUB 25% CAPTIVE 10%TRANS 10%TRIP
 RESTAURANT 25% CAPTIVE 10%TRANS 10%TRIP
 OFFICE 5% CAPTIVE 10%TRANS 10%TRIP
 RETAIL 25% CAPTIVE 10% TRANS 10%TRIP
 THEATER 10%CAPTIVE 10%TRANS 20%TRIP
 HOTEL 10%TRIP

INSTRUCTIONS =

FILL IN THE APPROPRIATE QUANTITY (square feet, units, etc) IN
 COLUMN "A" BELOW, without commas, AND PRESS THE "ENTER" KEY.

Put the percent ("8" = 8%) for TRIP REDUCTION in COLUMN "H"
 Put the percent for CAPTIVE MARKET in COLUMN "I"
 Put the percent for TRANSIT REDUCTION in COLUMN "J"
 Put the percent for SURPLUS NEED in COLUMN "K"

If you want to revise the table that contains the percent
 of peak by hour of day, then go to

A90

For a quick summary of the results, go to

A84-A86

The print range is A133..K183

When saving a MODIFIED version, use a NEW FILENAME (not "standard")

QUANTITY	LAND USES	TRIP	CAPT	TRNS	SURP
0.00	AMUSEMENT PARK (sf of public area)	0.00	0.00	0.00	0.00
0.00	ARCADE (sf) of building)	0.00	0.00	0.00	0.00
0.00	AUTO SALES (sf of building)	0.00	0.00	0.00	0.00
6740.00	BANK (sf of building)	0.00	0.00	0.00	0.00
4508.79	BAR/NIGHTCLUB (sf of building)	0.00	0.00	0.00	0.00
0.00	BED & BREAKFAST (# BR)	0.00	0.00	0.00	0.00
0.00	BOARDING HOUSE (# BR)	0.00	0.00	0.00	0.00
0.00	BOWLING ALLEY (# lanes)	0.00	0.00	0.00	0.00
0.00	CAR WASH - automatic (sf of bldg)	0.00	0.00	0.00	0.00
0.00	CAR WASH - self srv (self serve (# bays)	0.00	0.00	0.00	0.00
0.00	CHURCH/WORSHIP (sf of building)	0.00	0.00	0.00	0.00
0.00	CONFERENCE (sf of building)	0.00	0.00	0.00	0.00
0.00	CONVENIENCE/GAS (sf of building)	0.00	0.00	0.00	0.00
0.00	COURTS (# courts)	0.00	0.00	0.00	0.00
0.00	DAY CARE (sf of building)	0.00	0.00	0.00	0.00
0.00	FRATERNITY/SOROROTY (# BR)	0.00	0.00	0.00	0.00
0.00	FURNITURE SALES ((sf of building)	0.00	0.00	0.00	0.00
0.00	GOLF COURSE (# greens)	0.00	0.00	0.00	0.00
0.00	GOLF DRIVING RANGE (# tees)	0.00	0.00	0.00	0.00
0.00	HEALTH CLUB/SPA (sf of building)	0.00	0.00	0.00	0.00
0.00	HOSPITAL (# beds)	0.00	0.00	0.00	0.00
0.00	" (# doctors on staff)	0.00	0.00	0.00	0.00
0.00	" (# other employees)	0.00	0.00	0.00	0.00
160.00	HOTEL/MOTEL (# units)	0.00	0.00	10.00	0.00
0.00	LODGE/CLUB (sf of building)	0.00	0.00	0.00	0.00
0.00	MANUFACTURING (sf of building)	0.00	0.00	0.00	0.00
0.00	MINI-GOLF (# holes)	0.00	0.00	0.00	0.00
0.00	MINI-WAREHOUSE (sf of building)	0.00	0.00	0.00	0.00
0.00	MOBILE HOME/TRAILER (# units)	0.00	0.00	0.00	0.00
0.00	MORTUARY (sf of building)	0.00	0.00	0.00	0.00
0.00	MULTI-FAMILY =				
0.00	STUDIO (# units)	0.00	0.00	0.00	0.00

0.00	1 BR (# units)	0.00	0.00	0.00	0.00
0.00	2 BR (# units)	0.00	0.00	0.00	0.00
0.00	3+BR (# units)	0.00	0.00	0.00	0.00
0.00	ELDERLY (# units)	0.00	0.00	0.00	0.00
0.00	MUSEUM (sf of building)	0.00	0.00	0.00	0.00
0.00	NURSING HOME (# beds)	0.00	0.00	0.00	0.00
85267.29	OFFICE - general (sf of building)	10.00	5.00	10.00	0.00
0.00	" - medical (sf of building)	0.00	0.00	0.00	0.00
0.00	POOLHALL (sf of building)	0.00	0.00	0.00	0.00
52651.69	RESTAURANT - indoor (sf of bldg)	10.00	25.00	10.00	0.00
7916.48	" - outdoor (# patio sf)	10.00	25.00	10.00	0.00
0.00	" - or: (# patios s or: (# patio seats)	0.00	0.00	0.00	0.00
62291.86	RETAIL - indoor (sf of building)	10.00	25.00	10.00	0.00
0.00	" - outdoor (sf of area)	0.00	0.00	0.00	0.00
0.00	SCHOOL - elem/jr (sf clsrn \$off) (sf clsrn & off)	0.00	0.00	0.00	0.00
0.00	" - high/trade (")	0.00	0.00	0.00	0.00
0.00	SINGLE FAMILY (# lots)	0.00	0.00	0.00	0.00
0.00	STADIUM/ARENA (# seats)	0.00	0.00	0.00	0.00
0.00	TEAM SPORTS (# fields or courts)	0.00	0.00	0.00	0.00
37090.00	THEATER (sf of public area)	20.00	10.00	10.00	0.00
29934.31	WAREHOUSE (sf of building)	10.00	0.00	10.00	0.00

2013 TOTAL PARKING REQUIRED BY ORDINANCE

951 MINIMUM PARKING DEMAND PREDICTED BY MODEL L

999 TO 1046 = RECOMMENDED RANGE FOR PARKING PROVIDED

186 BIKE PARKING REQUIRED BY ORDINANCE

TABLE I
PERCENT OF PEAK PARKING NEEDED BY HOUR OF DAY

USE	7am	8am	9am	10am	11am	noon	1pm	2pm	3pm	4pm
BAR/CLUB	0.00	0.00	2.00	10.00	10.00	10.00	10.00	10.00	15.00	40.00
BOWL/SPA	10.00	25.00	20.00	15.00	25.00	35.00	30.00	40.00	65.00	85.00
CHURCH	10.00	30.00	90.00	100.00	100.00	50.00	20.00	10.00	5.00	5.00
COMMUTE	60.00	100.00	100.00	50.00	60.00	80.00	70.00	50.00	60.00	80.00
CONF/HS	50.00	100.00	100.00	100.00	95.00	70.00	95.00	95.00	85.00	35.00
ENTERTAIN	2.00	2.00	20.00	25.00	35.00	40.00	45.00	50.00	55.00	60.00
GOLF	100.00	100.00	95.00	90.00	90.00	85.00	90.00	95.00	95.00	95.00
HOSPITAL	60.00	80.00	90.00	100.00	70.00	85.00	75.00	90.00	100.00	85.00
HOTEL	85.00	65.00	45.00	35.00	25.00	30.00	25.00	30.00	25.00	40.00
INDUSTRIA	75.00	85.00	100.00	100.00	90.00	80.00	85.00	95.00	95.00	95.00
OFFICE/ES	25.00	80.00	95.00	95.00	95.00	80.00	80.00	90.00	90.00	85.00
RESIDENCE	90.00	65.00	35.00	35.00	50.00	60.00	50.00	35.00	40.00	55.00
RESTAURA	10.00	20.00	25.00	30.00	75.00	85.00	75.00	45.00	35.00	40.00
RETAIL	5.00	20.00	30.00	40.00	50.00	75.00	80.00	90.00	95.00	85.00
STADIUM	0.00	0.00	0.00	1.00	1.00	2.00	2.00	5.00	15.00	25.00
THEATER	0.00	0.00	0.00	2.00	5.00	10.00	20.00	25.00	35.00	45.00

USE	5pm	6pm	7pm	8pm	9pm	10pm	11pm	mdnt	1am
BAR/CLUB	60.00	80.00	95.00	100.00	100.00	100.00	100.00	90.00	75.00
BOWL/SPA	60.00	95.00	100.00	100.00	100.00	75.00	35.00	20.00	5.00
CHURCH	5.00	30.00	40.00	40.00	20.00	10.00	2.00	0.00	0.00
COMMUTE	100.00	100.00	60.00	30.00	20.00	10.00	5.00	5.00	2.00
CONF/HS	50.00	20.00	70.00	80.00	80.00	50.00	30.00	15.00	5.00
ENTERTAIN	70.00	90.00	100.00	100.00	100.00	90.00	70.00	20.00	2.00
GOLF	95.00	80.00	60.00	25.00	10.00	2.00	0.00	0.00	0.00
HOSPITAL	80.00	80.00	60.00	50.00	30.00	30.00	25.00	25.00	25.00
HOTEL	60.00	65.00	75.00	80.00	95.00	100.00	100.00	100.00	100.00
INDUSTRIA	50.00	25.00	10.00	10.00	5.00	5.00	5.00	2.00	2.00
OFFICE/ES	70.00	25.00	15.00	10.00	5.00	5.00	2.00	2.00	0.00

RESIDENCE	70.00	75.00	80.00	85.00	90.00	95.00	100.00	100.00	100.00
RESTAURA	60.00	80.00	95.00	100.00	100.00	75.00	60.00	50.00	35.00
RETAIL	80.00	70.00	60.00	50.00	45.00	25.00	10.00	5.00	2.00
STADIUM	30.00	90.00	100.00	100.00	100.00	75.00	25.00	5.00	2.00
THEATER	55.00	75.00	95.00	100.00	100.00	90.00	70.00	50.00	20.00

TEMPE SHARED PARKING MODEL MODIFIED? TABLE I MODIFIED? FIED: NO

PROJECT = CENTERPOINT PARKING ASSOC.

ADDRESS = SOUTH MILL

DATE = April 7, 1999

STAFF = DF

PARKING DEMAND PER HOUR (DOES NOT INCLUDE 5 - 10% MARGIN)

USE	7am	8am	9am	10am	11am	noon	1pm	2pm	3pm	4pm
BAR/CLUB	0	0	2	9	9	9	9	9	14	36
BOWL/SPA	0	0	0	0	0	0	0	0	0	0
CHURCH	0	0	0	0	0	0	0	0	0	0
COMMUTE	0	0	0	0	0	0	0	0	0	0
CONF/HS	0	0	0	0	0	0	0	0	0	0
ENTERTAIN	0	0	0	0	0	0	0	0	0	0
GOLF	0	0	0	0	0	0	0	0	0	0
HOSPITAL	0	0	0	0	0	0	0	0	0	0
HOTEL	122	94	65	50	36	43	36	43	36	58
INDUSTRIA	14	16	19	19	17	15	16	18	18	18
OFFICE/ES	64	205	243	243	243	205	205	230	230	217
RESIDENCE	0	0	0	0	0	0	0	0	0	0
RESTAURA	42	83	104	125	311	353	311	187	145	166
RETAIL	8	32	48	65	81	121	129	145	153	137
STADIUM	0	0	0	0	0	0	0	0	0	0
THEATER	0	0	0	4	11	22	45	56	78	100
total:	250	430	481	515	709	768	751	689	675	733

USE	5pm	6pm	7pm	8pm	9pm	10pm	11pm	mdnt	1am
BAR/CLUB	54	72	86	90	90	90	90	81	68
BOWL/SPA	0	0	0	0	0	0	0	0	0
CHURCH	0	0	0	0	0	0	0	0	0
COMMUTE	0	0	0	0	0	0	0	0	0
CONF/HS	0	0	0	0	0	0	0	0	0
ENTERTAIN	0	0	0	0	0	0	0	0	0
GOLF	0	0	0	0	0	0	0	0	0
HOSPITAL	0	0	0	0	0	0	0	0	0
HOTEL	86	94	108	115	137	144	144	144	144
INDUSTRIA	10	5	2	2	1	1	1	0	0
OFFICE/ES	179	64	38	26	13	13	5	5	0
RESIDENCE	0	0	0	0	0	0	0	0	0
RESTAURA	249	332	394	415	415	311	249	208	145
RETAIL	129	113	97	81	73	40	16	8	3
STADIUM	0	0	0	0	0	0	0	0	0
THEATER	122	167	211	223	223	200	156	111	45
total:	830	847	937	951	951	800	661	558	405

2013 TOTAL PARKING REQUIRED BY ORDINANCE

951 MINIMUM PARKING DEMAND PREDICTED BY MODEL

186 BIKE PARKING REQUIRED BY ORDINANCE

999 TO

1046 = RECOMMENDED RANGE FOR PARKING PROVIDED

EMPLOYEE PARKING NEEDS

(1 SPACE/250 SF.OF USE)

MORNING/DAYTIME

USE	7am	8am	9am	10am	11am	noon	1pm	2pm	3pm	4pm
BAR/CLUB	0	0	1	3	3	3	3	3	4	11
CONF/HS	0	0	0	0	0	0	0	0	0	0
HOTEL	61.20	46.80	32.40	25.20	18.00	21.60	18.00	21.60	18.00	28.80
INDUSTRIA	14.39	16.31	19.19	19.19	17.27	15.35	16.31	18.23	18.23	18.23
OFFICE/ES	64	205	243	243	243	205	205	230	230	217
RESIDENCE	0	0	0	0	0	0	0	0	0	0
RESTAURA	12	25	31	37	93	106	93	56	44	50
THEATER	0.00	0.00	0.00	1.78	4.45	8.90	17.80	22.25	31.16	40.06
RETAIL	8	32	48	65	81	121	129	145	153	137
TOTALS	160.07	324.97	374.74	393.87	459.62	480.22	482.10	496.44	498.72	502.47
RESERVED EMPLOYEE UTILIZED	30.43	60.39	69.96	73.46	84.94	88.24	88.79	91.65	92.10	92.64
NON-RESERVED EMPLOYEE NEED	129.65	264.58	304.78	320.41	374.67	391.98	393.31	404.80	406.62	409.83
TOTAL EMP OYEE NEED	160.07	324.97	374.74	393.87	459.62	480.22	482.10	496.44	498.72	502.47
CUSTOMER AND RENTAL AVAILABLE	2694.93	2530.03	2480.26	2461.13	2395.38	2374.78	2372.90	2358.56	2356.28	2352.53

EVENING/NIGHTTIME

USE	5pm	6pm	7pm	8pm	9pm	10pm	11pm	mdnt	1am
BAR/CLUB	16	22	26	27	27	27	27	24	20
CONF/HS	0	0	0	0	0	0	0	0	0
HOTEL	43.20	46.80	54.00	57.60	68.40	72.00	72.00	72.00	72.00
INDUSTRIA	9.59	4.80	1.92	1.92	0.96	0.96	0.96	0.38	0.38
OFFICE/ES	179	64	38	26	13	13	5	5	0
RESIDENCE	0	0	0	0	0	0	0	0	0
RESTAURA	75	100	118	125	125	93	75	62	44
THEATER	48.96	66.76	84.57	89.02	89.02	80.11	62.31	44.51	17.80
RETAIL	129	113	97	81	73	40	16	8	3
TOTALS	501.01	416.67	419.80	406.48	395.45	326.71	258.32	216.70	157.30
RESERVED EMPLOYEE UTILIZED	90.66	54.51	57.36	57.82	56.99	50.44	42.56	36.47	26.72
NON-RESERVED EMPLOYEE NEED	410.34	362.15	362.44	348.66	338.46	276.27	215.76	180.24	130.57
TOTAL EMPLOYEE NEED	501.01	416.67	419.80	406.48	395.45	326.71	258.32	216.70	157.30
CUSTOMER AND RENTAL AVAILABLE	2353.99	2438.33	2435.20	2448.52	2459.55	2528.29	2596.68	2638.30	2697.70

KEY EMPLOYEE RESERVED PARKING NEEDS

ONE SPACE/1400SF OF USE)

MORNING/DAYTIME										
USE	7am	8am	9am	10am	11am	noon	1pm	2pm	3pm	4pm
BAR/CLUB	0	0	0	0	0	0	0	0	1	2
HOTEL	10.20	7.80	5.40	4.20	3.00	3.60	3.00	3.60	3.00	4.80
INDUSTRIA	5.14	5.83	6.85	6.85	6.17	5.48	5.83	6.51	6.51	6.51
OFFICE/ES	11	37	43	43	43	37	37	41	41	39
RESTAURA	2	4	6	7	17	19	17	10	8	9
THEATER	0.00	0.00	0.00	0.32	0.79	1.59	3.18	3.97	5.56	7.15
RETAIL	1	6	9	12	14	22	23	26	27	25
TOTALS	30.43	60.39	69.96	73.46	84.94	88.24	88.79	91.65	92.10	92.64

EVENING/NIGHTTIME										
USE	5pm	6pm	7pm	8pm	9pm	10pm	11pm	mdnt	1am	
BAR/CLUB	3	4	5	5	5	5	5	4	4	
HOTEL	7.20	7.80	9.00	9.60	11.40	12.00	12.00	12.00	12.00	
INDUSTRIA	3.43	1.71	0.69	0.69	0.34	0.34	0.34	0.14	0.14	
OFFICE/ES	32	11	7	5	2	2	1	1	0	
RESTAURA	13	18	21	22	22	17	13	11	8	
THEATER	8.74	11.92	15.10	15.90	15.90	14.31	11.13	7.95	3.18	
RETAIL	23	0	0	0	0	0	0	0	0	
TOTALS	90.66	54.51	57.36	57.82	56.99	50.44	42.56	36.47	26.72	

CENTERPOINT PARKING ASSOCIATION
PARKING CALCULATIONS

OWER/USE	SQ.FT.	ORD.REQ. PARKING	NON-ASSOC PARKING PROVIDED	% OF TOTAL PARKING	SHARED PARKING REQUIRED
CENTERPOINT I BUILDINGS A,B1 AND B2					
RESTAURANT	6971.00	92.95	0.00	0.05	43.01
PATIO	2500.00	16.67	0.00	0.01	7.71
BAR	2228.00	44.56	0.00	0.02	20.62
RETAIL	8290.00	33.16	0.00	0.02	15.34
OFFICE	79415.00	317.66	0.00	0.15	146.99
SUBTOTAL	99404.00	504.99	0.00	0.25	233.68

CENTERPOINT/CHASE (NOT PART OF THE ASSOCIATION CALCULATIONS)
(CHASE HAS THEIR OWN PARKING)

CENTERPOINT III BUILDINGS C AND H					
BLDG.C					
RESTAURA	6850.00	91.33	0.00	0.04	42.26
PATIO	1000.00	6.67	0.00	0.00	3.08
RETAIL	5962.00	23.85	0.00	0.01	11.04
BLDG.H					
RESTAURA	6109.00	81.45	0.00	0.04	37.69
PATIO	1500.00	10.00	0.00	0.00	4.63
RETAIL	1432.00	5.73	0.00	0.00	2.65
THEATRE	37090.00	370.90	0.00	0.18	171.63
SUPPORT	10774.00	21.55	0.00	0.01	9.97
SUBTOTAL	70717.00	611.48	0.00	0.30	282.95

CENTERPOINT NEW AND FUTURE BUILDINGS

BUILDING D/E						
RESTAURANT	13136.00	175.15		0.00	0.09	81.05
PATIO	704.00	4.69		0.00	0.00	2.17
OFFICE	0.00	0.00		0.00	0.00	0.00
RETAIL	37235.00	148.94		0.00	0.07	68.92
BUILDING I						
RESTAURANT	6639.00	88.52		0.00	0.04	40.96
PATIO	920.00	6.13		0.00	0.00	2.84
BUILDING J						
RESTAURANT	0.00	0.00		0.00	0.00	0.00
PATIO	0.00	0.00		0.00	0.00	0.00
RETAIL	0.00	0.00		0.00	0.00	0.00
OFFICE	0.00	0.00		0.00	0.00	0.00
BUILDING K						
RESTAURANT	0.00	0.00		0.00	0.00	0.00
PATIO	0.00	0.00		0.00	0.00	0.00
BROWN/STRONG/REEVES						
OFFICE	1400.00	5.60		0.00	0.00	2.59
BUILDING M						
RESTAURANT	0.00	0.00		0.00	0.00	0.00
PATIO	0.00	0.00		0.00	0.00	0.00
RETAIL	0.00	0.00		0.00	0.00	0.00
OFFICE	0.00	0.00		0.00	0.00	0.00
HOTEL BUILDING						
HOTEL	100.10	176.00	160.00	85.00	0.09	81.44
SUBTOTAL	60134.10	605.03		0.00	0.29	279.97

CITY OF TEMPE

LAIRD						
RESTAURANT	7818.61	205.77	15433.00	101.53	0.05	48.24
PATIO	1119.62	14.73	2210.00	7.27	0.00	3.45
RETAIL	970.68	7.66	1916.00	3.78	0.00	1.80
NIGHTCLUB	0.00	0.00	0.00	0.00	0.00	0.00
BAR	2280.79	90.04	4502.00	44.42	0.02	21.11
SUBTOTALS		318.21		157.00		74.60
TEMPE HARDWARE						
OFFICE	5852.29	28.18	7044.00	4.77	0.01	10.83
RETAIL	2741.71	13.20	3300.00	2.23	0.01	5.07
SUBTOTALS		41.38		7.00		15.91
WELLS FARGO						
BANK	6740.00	32.96	8240.00	6.00	0.01	12.48
GOODWIN BLDGS.						
RETAIL	4178.85	21.42	5354.00	4.70	0.01	7.73
INDUSTRIAL	2310.31	5.92	2960.00	1.30	0.00	2.14
SUBTOTALS		27.34		6.00		9.87
MTN. BELL						
INDUSTRIAL	16850.00	33.70	16850.00	0.00	0.02	15.59
FROST CORNER						
RESTAURANT	3728.08	72.47	5435.00	22.76	0.02	23.00
PATIO	172.86	1.68	252.00	0.53	0.00	0.53
RETAIL	1481.63	8.64	2160.00	2.71	0.00	2.74
SUBTOTALS		82.79		26.00		26.28
SUBTOTAL	56245.41	536.37		202.00	0.16	154.72
GRAND TOTALS	286500.51	2257.87		202.00	1.00	951.33

<div>-----</div> TOTAL PARKING CURRENTLY PROVIDED BY CENTERPOINT PARKING ASSOCIATION <div>-----</div>	1180.00
EXTRA PARKING	228.67

Development Services
Department
(602) 350-8331

March 18, 1999

Mark Irby
Architects Design Studio, Inc.
401 South Mill Avenue, Suite 203
Tempe, AZ 85281

RE: **DRB99061 - ELLINGSON WAREHOUSE @ CENTERPOINT**

Dear Mr. Irby:

At its meeting of March 17, 1999 the Design Review Board approved the building elevations, site plan and landscape plan for **ELLINGSON WAREHOUSE @ CENTERPOINT** located at 20 West 6th Street in the CCD, Central Commercial District subject to the following conditions:

SITE PLAN

1. ~~Lower the wall around the refuse container to two (2) feet, except in the area around the "grease trap." Details to be approved by staff.~~ **Provide a wrought iron fence between the trash enclosure and the north property line. Details to be approved by staff. Modified by the Staff**
2. Locate all parking lot area lights so that they are not in landscape islands and do not conflict with tree locations.
3. Locate all pedestrian area lights so that they do not conflict with mature landscaping.
4. Provide upgraded paving materials, such as unit pavers, exposed aggregate, or colored concrete, as accents for all pedestrian sidewalks on the site, for a crosswalk across the parking area to the building, at the main entry to the building, and at all the main drives to the site.
5. All transformer boxes, meter panels and electrical equipment, backflow valves, and other utility equipment shall be painted to match the building color.
6. No chain link fencing, razor wire, barbed wire, etc. will be allowed.
7. Indicate the locations and quantity of bicycle parking spaces on the site plan.



8. Disperse bike parking and locate near building entries.
9. Bike racks shall be selected from the "preferred" racks shown in the booklet entitled "Bicycle Racks, A Guide to Tempe Requirements" which is available from the Transportation Division, Public Works Department.

Note: The following is a partial list of Zoning Ordinance requirements that must be addressed prior to the issuance of a building permit. This list is compiled to assist you in preparing a site plan, which will conform to the minimum requirements of the Zoning Ordinance.

All parking spaces shall comply with the following minimum dimensions:

- a. motor vehicle parking spaces shall measure 8'-6" wide by 18'-0" long or 16'-0" long with a 2'-0" overhang;
- b. all parallel parking spaces shall measure 8'-6" by 22'-0";
- c. recreational vehicle spaces shall measure 10'-0" by 24'-0";
- d. bicycle spaces shall measure 2'-0" by 6'-0";
- e. handicapped spaces shall measure 12'-0" by 18'-0";
- f. dead-end spaces shall provide a 3'-0" curb offset for back-up maneuvering.

All sites shall provide the minimum number of parking spaces required for vehicles and bicycles. (Ordinance requirement)

All parking spaces for bicycles shall be equipped with a security rack. (Ordinance requirement)

In the "ASU-commuting area" bounded by Priest Drive, Southern Avenue, Price Road, and Continental Drive, half the number shown for recreation vehicles and twice the number shown for bicycles are required.

A curb at least six (6) inches in height shall be installed so that no part of any vehicle extends into any landscaped setbacks or beyond any property line. (Ordinance requirement)

All parking areas shall incorporate the following elements:

- a. Landscape islands, with raised concrete curbing, to define parking lot entrances, aisles and ends of all parking aisles. (Ordinance requirement)
- b. Landscape islands to separate rows of more than fifteen (15) parking spaces. (Ordinance requirement)
- c. Each landscape island shall be a minimum of seven (7) feet in total width, including curbing, equal the length of the parking stall(s), and a minimum of 120 s.f. in area. If any landscape island includes a sidewalk, then the minimum width of the island shall be eleven (11) feet. (Ordinance requirement)

All ground mounted equipment shall be completely screened by a concrete or masonry wall equal to or greater in height than the mechanical equipment itself. Color and texture of the wall shall be compatible with the primary building(s) on site. (Ordinance requirement)

BUILDING ELEVATIONS

10. Meet with the Planning and CPTED staff to discuss the addition of windows on the north and west elevations.
11. Locate roof access ladder inside the building.
12. The main building colors and materials shall have a light reflectance value (LRV) of 75% or less. Specific colors and materials to be approved by staff prior to issuance of building permits. Final colors shall be field verified by the Design Review staff prior to painting the building.
13. Details of meter panels and electrical equipment installation and location shall not detract from the architecture of the building and shall be approved by staff prior to issuance of building permits.
14. Locate the electrical service entrance section (S.E.S.) inside the building.

Note: The following is a partial list of Zoning Ordinance requirements that must be addressed prior to the issuance of a building permit. This list is compiled to assist you in preparing building elevations which will conform to the minimum requirements of the Zoning Ordinance.

All roof mounted mechanical equipment shall be fully concealed on all sides by elements that are an integral part of the building design and are equal to or greater in height than the mechanical equipment. (Ordinance requirement)

Screen all mechanical units with parapet, masonry wall, or other opaque screening device equal to the height of the highest mechanical unit. (Ordinance requirement)

LANDSCAPE

15. Revise the plant material located behind the refuse container to "thorny or prickly" type plants. Details to be approved by staff.
16. All Heritage Oak trees to be the standard variety and not the multi-trunk type.
17. Show the location of all exterior light fixtures on the landscape plan.

18. Show traffic sight triangles at all driveways. Any landscaping within these sight triangles must be selected from the Traffic Sight Triangle Plant List which can be obtained from the Development Services Department. (Required for Design Review submittal)
19. Shrubs located in parking lot landscape islands shall not exceed two (2) feet in height. Refer to the Traffic Sight Triangle Plant List.
20. Trees located in parking lot landscape islands shall be canopy type trees, such as Mesquite or Evergreen Elm.

Note: The following is a partial list of Zoning Ordinance requirements that must be addressed prior to the issuance of a building permit. This list is compiled to assist you in preparing landscape plan, which will conform to the minimum requirements of the Zoning Ordinance.

A minimum of one (1), fifteen (15) gallon size tree and five (5), one (1) gallon size ground covers, for each parking stall length, must be located in each landscape island. All ground covers in parking lot landscape islands shall be of a species that will not grow to interfere with natural surveillance of the parking lot. (Ordinance requirement)

Final landscape plans and irrigation plans shall be approved by staff prior to issuance of building permits. Submit two copies of the final landscape plan to the Planning Division prior to issuance of building permits. (Ordinance requirement)

Any field modifications to the final landscape plans are to be approved by staff prior to installation. If modifications are made, as-built landscape plans shall be submitted to the Planning Division prior to issuance of Certificate of Occupancy. (Ordinance requirement)

SIGNAGE

21. Provide details of signage for review.
22. No exposed conduit or raceways are allowed for any new signage.

Note: The following is a partial list of Zoning Ordinance requirements that must be addressed prior to the issuance of a sign permit. This list is compiled to assist you in preparing sign drawings, which will conform to the minimum requirements of the Zoning Ordinance.

Obtain separate sign permits prior to installation of any signs. (Ordinance requirement)

GENERAL

23. Provide eight (8) foot perimeter walls/wrought iron gate to enclose the proposed service area. Provide details.
24. Parking lot, adjacent landscape areas, refuse areas, related to the building complex shall be illuminated with a minimum of three (3) foot-candles of light from finish grade to six (6) feet above grade from sunset to sunrise. Provide details and photometrics (point/point) on the landscape plans.
25. All building entrances shall be illuminated with a minimum of five (5) foot-candles (between the hours of sunset and sunrise) at ground level and six (6) feet above grade with a radius of not less than fifteen (15) feet from center point of the entrance. Provide details. Consider transitional lighting for these areas.
26. All exterior lighting fixtures shall be a full cutoff design and have vandal resistant and weatherproof covers. Conforms to the Dark Sky Ordinance. Provide cut sheets. All exterior fixtures must be approved.
27. Landscape plantings/materials shall not conflict with the lighting standards considering the plants at maturity. Provide low (thorny, prickly type) landscape in parking areas.
28. ~~Metal halide lighting required. Use .72 light loss factor.~~ Utilize high pressure sodium lighting with a .72 light loss factor. Modified by the Staff
29. All employee service doors shall have a minimum of 6"x6" laminated/lexan security window centered and mounted at no more than 63" from bottom of door to center of the glazing (no wire glass).
30. Ground cover and shrubs used in parking islands, inside perimeter/screening walls or within twenty (20) feet of access doors should be of a species that will not grow more than two (2) feet tall at maturity.
31. Address numbers shall be of contrasting colors, with an illuminated source from dusk to dawn and not obstructed by landscape or other conflicts. Dusk to dawn illumination as approved by the CPTED staff. Address numbers must be shown on front and rear building elevations or as determined by the Planning and CPTED staff.
32. Suite numbers shall be of contrasting colors, and illuminated (posted on front and rear) and visible from the street area and/or walkway areas.

Note: The following is a partial list of Zoning Ordinance requirements that must be addressed prior to the issuance of a building permit. This list is compiled to assist you in conforming to the Zoning Ordinance.

All exterior lighting shall conform to Chapter 25, Article VIII "Outdoor Light Control" of the Code of the City of Tempe. (Ordinance requirement)

Submit a complete package of details or spec. sheets of all exterior lighting to Design Review staff for approval prior to issuance of building permits.

Verify all comments by the Public Works Department, Development Services Department and Fire Department, given on the Preliminary Site Plan Review dated 02/05/99 and 03/12/99. Any comments which result in changes which affect Design Review Board approval of this project shall be reviewed and approved by staff prior to issuance of building permits.


Details to be submitted and approved by staff prior to issuance of building permits.

This approval is based on compliance with the plans submitted as part of the application with such modifications as may be required by any conditions listed above. This Design Review approval is valid for one (1) year. In the event you desire to appeal the conditions of approval, you must submit an appeal letter to the Tempe City Clerk within fourteen (14) calendar days of the above hearing date. Identify the conditions(s) upon which you are basing your appeal. A fee of \$300.00 payable to the Tempe Development Services Department is then required prior to scheduling for City Council action.

Your construction plans must still be submitted to and approved by the Development Services Department before a building permit may be issued. To initiate the plan review process for building permits, please submit four (4) complete sets of preliminary working drawings, including landscape plans and civil plans, plus two (2) additional sets of civil plans. The Development Services Permit Center staff will distribute the plans for review by Planning, Building Safety, and Engineering staff members.

If you have any questions please contact Sherri Roush, at 350-8331.

Sincerely,


Terry Mullins
Deputy Director
Development Services Department

TM/cg

Enclosure

Copy: Laurie Jackson / DMB Associates
File

Community Development
Department

602-350-8331 (Phone)

March 20, 1996

Maurice E. Taitt
Courtyard Management Corporation
5151 Beltline Rd., #347
Dallas, TX 75240

Re: #SPD-96.06

Dear Mr. Taitt:

At their regular meeting of March 21, 1996, the City Council approved the request by **CENTERPOINT PLAZA** (Centerpoint Plaza Limited Partnership and DMB Associates, Inc., property owners) for an Amended Preliminary P.A.D. #SPD-96.06 consisting of 2,235,856 s.f. (including parking garages) on 22.04 net acres, and a Final P.A.D. for Phase IV - Courtyard By Marriott consisting of 79,960 s.f. (160-room hotel) located at 111 West 5th Street, including the following:

Use Permit

Allow a non-residential use, a 160 unit courtyard hotel, in the CCD Commercial District.

Variances:

- a. Increase the allowable building height in the CCD District from 35' to 55' for Bldg. L. (hotel).
- b. Reduce the minimum required street side yard setback in the CCD District from 10' to 0' at certain locations along Ash Avenue and from 10' to 5' along 5th Street for Bldg. L. (hotel).
- c. Waive the required masonry screening walls, certain required landscape islands at ends of parking rows and certain required landscape islands after each 15 stalls for a temporary surface parking lot for Bldg. L. located south of 5th Street on the east side of the proposed hotel site.

The approval was subject to the following conditions:

1. All previous applicable Council and Design Review Board conditions of approval shall be adhered to.
2. The Amended Preliminary P.A.D. and Final P.A.D (Phase IV) shall be revised to reflect site data for all phases (existing, proposed and future) prior to recordation.
3. Final details of the courtyard hotel (Bldg. L) including the portal entrance at the northeast corner of the building shall be resolved with the Design Review Board and reflected on the Amended and Final P.A.D.

FILE COPY

4. The developer shall install brick sidewalks, decorative theme lighting and tree material (using Mill Ave. streetscape details) along 5th Street and Ash Avenue as part of this phase with details to be approved by Design Review Board.
5. Parking screening wall along Ash Avenue and the Marriott site shall be extended south approximately 100 feet from the southwest corner of the Marriott property. Details to be approved by Design Review Board.
6. Within 12 months of City Council action, representatives of DMB shall return to the City to provide a timeline for reuse of the Ellingson Warehouse building and Brown/Strong/Reeves house.
7. Final details of circulation, buildings, parking, landscaping and pedestrian links to other plaza locations shall be resolved with each future final P.A.D.'s as part of DMB's overall amendment to the Centerpoint project.
8. Marriott shall resolve all lighting and security details with Police Department prior to issuance of building permit for their courtyard hotel project.

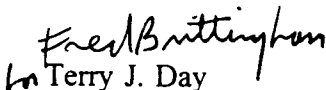
After compliance with the above conditions, the required copies of the Amended Preliminary and Final P.A.D, and **(three double-matte photo mylars 24" x 36")**, **with conditions and variances listed**, should be signed in **BLACK INK AND STAMPED IN BLACK INK** by the necessary parties and forwarded to our office. Also send a check made payable to the Maricopa County Recorder, for final processing and recording. (For fee charge, please check with one of our Planning Aides.)

After recording the map, the City of Tempe requires as per Ordinance 381, the following prints of the recorded map:

- 3 - Full Size Bluelines 24" x 36"
- 7 - Reduced Photo Positives (8 1/2" x 14")

This will be done by the City of Tempe. You will automatically be billed by a Blueprint Company.

Sincerely,


for Terry J. Day
Director

TJD:jrh

cc: File
Michael DeBell

Building Safety Dept.
Traffic Engineer